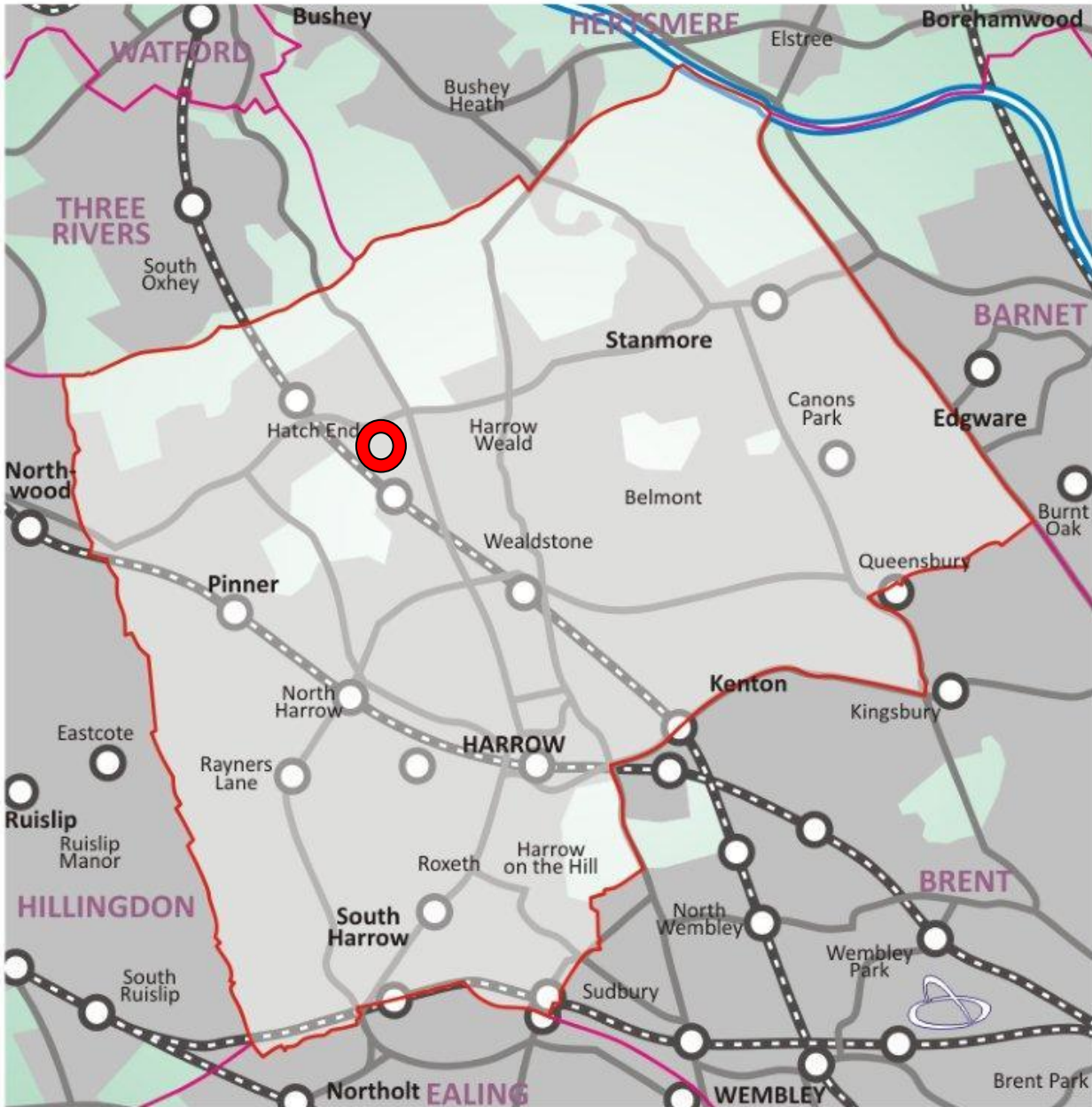


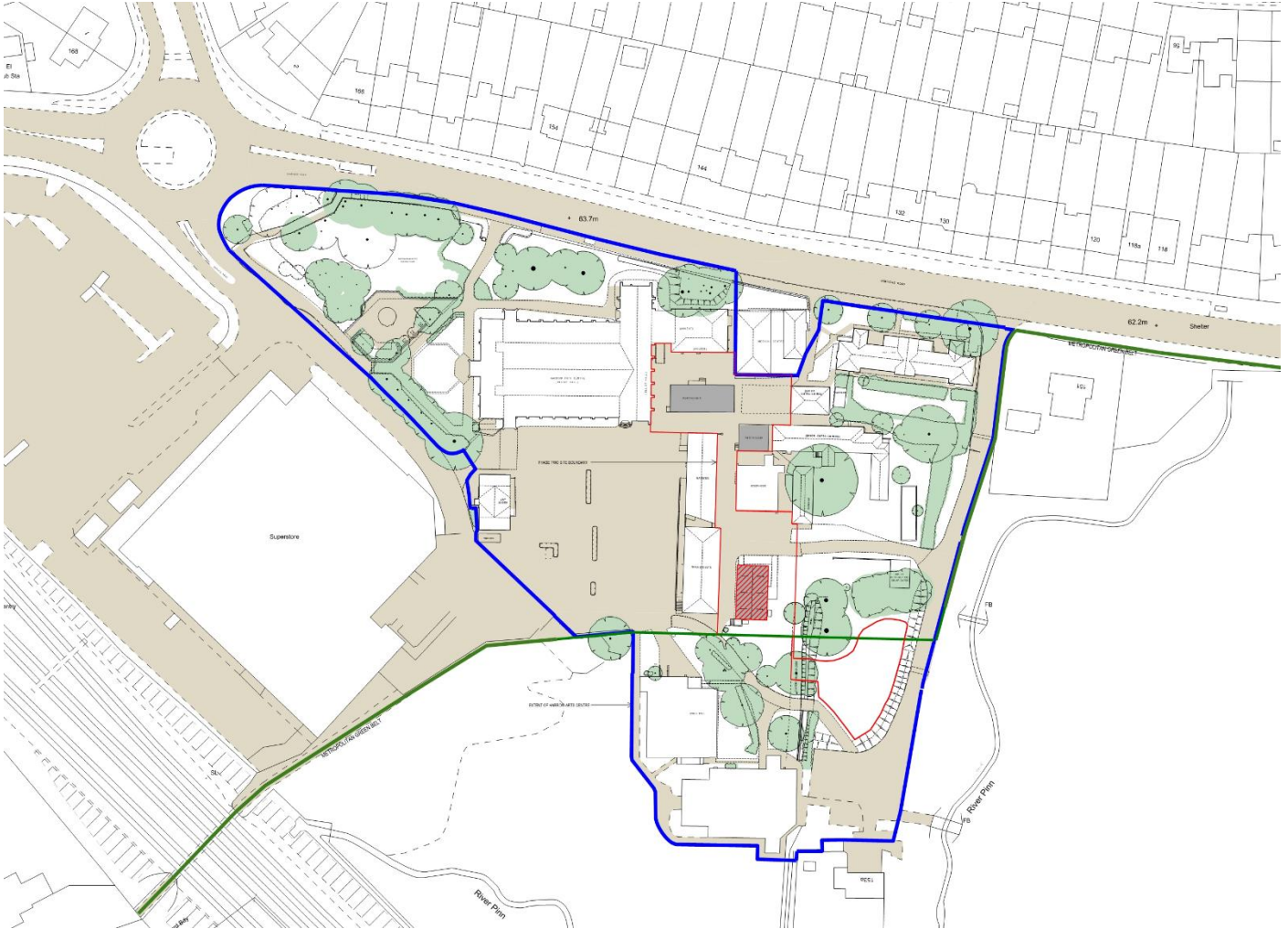
 = application site



**Harrow Arts Centre, 171 Uxbridge Road, Hatch End,
HA5 4EA**

P/0764/22

HARROW ARTS CENTRE



LONDON BOROUGH OF HARROW

PLANNING COMMITTEE

20th July 2022

APPLICATION NUMBER: P/0764/20
VALIDATION DATE: 10/06/2022
LOCATION: HARROW ARTS CENTRE, 171 UXBRIDGE ROAD,
WARD: HATCH END
POSTCODE: HA5 4EA
APPLICANT: HARROW COUNCIL
AGENT: CHRIS DYSON ARCHITECTS LLP
CASE OFFICER: SELINA HOTWANI
EXPIRY DATE: 05/08/2022

PROPOSAL

Variation of condition 2 (approved plans) attached to planning permission P/3594/20 dated 04/05/2021 to allow reduction to height and footprint of building; alterations to internal layout; reduction to terrace; alterations to external finish; omission of external staircase, heat pump, photovoltaic panels, brick pavers and external signage; alterations to layout of rooflights; replacement of windows and doors with aluminium and timber composite windows and doors.

The Planning Committee is asked to:

RECOMMENDATION A

- 1) agree the reasons for approval as set out in this report;
- 2) Grant planning permission subject to authority being delegated to the Interim Head of Development Management to issue the decision after the expiration of the site notice on 21st July 2022, subject to addressing any comments and objections that are received being addressed to the satisfaction of the Interim Head of Development Management and subject to the Conditions listed in Appendix 1 of this report.

REASON FOR THE RECOMMENDATIONS

The proposal would contribute towards the regeneration and continued operation of the Harrow Arts Centre, allowing for expanded capacity and modern facilities for community use. The proposal would be in accordance with the development plan and policies. Furthermore, it is considered that the proposal would not have an unduly harmful impact on the character of the surrounding area, or the residential amenities of the neighbouring occupiers. The application falls under Regulation 3 of the Town and Country Planning General Regulations 1992.

INFORMATION

This application is reported to Planning Committee as the development concerns a Council-owned property and therefore falls outside Schedule 1 of the Scheme of Delegation.

Statutory Return Type:	Minor Development
Council Interest:	Council-owned
Net additional Floorspace:	137.4 sqm
GLA Community Infrastructure Levy (CIL) Contribution (provisional) (£60p/sqm)(excluding indexation) :	£8,244
Local CIL requirement:	N/A

HUMAN RIGHTS ACT

The provisions of the Human Rights Act 1998 have been taken into account in the processing of the application and the preparation of this report.

EQUALITIES

In determining this planning application, the Council has regard to its equalities obligations including its obligations under section 149 of the Equality Act 2010.

For the purposes of this application there are no adverse equalities issues.

S17 CRIME & DISORDER ACT

Policy D11 of The London Plan (2021) and Policy DM1 of the Development Management Policies Local Plan require all new developments to have regard to safety and the measures to reduce crime in the design of development proposal. It is considered that the development does not adversely affect crime risk.

1.0 SITE DESCRIPTION

- 1.1 The Harrow Arts Centre (HAC) is located on the southern side of Uxbridge Road. The Arts Centre comprises a collection of buildings, including the grade II listed Elliott Hall, which is the largest and most prominent building on site. Within its grounds are the curtilage listed buildings, locally listed buildings, as well as additional structures with no heritage designation including the existing portacabin building known as the Greenhill building.
- 1.2 The application site is a smaller area within the larger curtilage of the HAC grounds, and comprises the existing Greenhill building the grounds immediately surrounding it sited, a section of the green landscaped area to the south-east of Greenhill, sections of the hardstanding areas to the north of Greenhill, and two portacabins.
- 1.3 The site is within an allocated site in the Harrow Council Site Allocation (2013), which includes the car park and several of the ancillary buildings.
- 1.4 There is an area of Green Belt land approximately 3m to the south of the existing Greenhill building; and the southern section of landscaped area which forms part of the site extends into the Green Belt boundaries. There is a Site of Importance of Nature Conservation, partially overlapping the Green Belt area, the primary section of which is a minimum of 28m from the Greenhill building.
- 1.5 The site is located within a Critical Drainage zone. The wider Arts Centre curtilage includes TPO trees, but these are not located near the site that is the subject of this application.
- 1.6 To the immediate south, west and north of the site are other buildings, land and a parking lot belonging to the arts centre, as well as (to the south) the leisure centre/swimming pool. To the east is mostly open land and an access road leading to the swimming pool, adjoining the green belt. To the north is also located a medical clinic.
- 1.7 Further to the east is the main access to the site, and a large grocery store and associated parking. To the north across Uxbridge Road is a residential area.

2.0 PROPOSAL

Approved Building

- 2.1 Permission has been granted (P/3594/20) for the demolition of the existing Greenhill building and two portacabins and construction of a new replacement building (also called "Greenhill"), with associated works to the hard and soft landscaping and signage on site.
- 2.2 The approved replacement building would be two storeys high and would contain 3 teaching (multipurpose) rooms and 8 artists' studios. The teaching rooms would replace the function and floorspace of the existing Greenhill building and the 2 portacabins which were approved to be demolished.

- 2.3 The approved building would be L-shaped with a semi-enclosed courtyard, and a sawtooth roof design. The ground floor classrooms would have glazed doors opening directing onto the terrace so that the outside space can be used in conjunction with the classrooms as and when needed.
- 2.4 Landscaping around the approved building would include hardsurfacing and seating for the courtyard area, with beds for soft landscaping and a ginko tree at its centre. Additional hard landscaping and improvements to existing paving would be done to the north of the proposed building.
- 2.5 To the south-east of the approved building, a SuDS mitigation would be provided in the form of a swale, which would have soft landscaping around it.

Varied Proposal

- 2.6 Since approval was granted the applicant has been required to make several changes to the scheme due to budgetary constraints. The variations comprise:
- Reduction in the overall height of the building by 300mm.
 - Reduction in the footprint of the building to remove the southernmost bay, this reduces the internal area by approximately 34sqm.
 - Alterations to the internal layout to replace first floor artists studios with teaching rooms.
 - Alterations to the terrace to reduce the extent and align with the southern end of the building. Landscaped steps have been removed and replaced with a balustrade to the west of the terrace. The terrace paving materials have also been changed.
 - Relocation of the air source heat pump
 - Changes to the cladding material from Corten to a corrugated fibre panel, to be a similar colour tone and appearance.
 - Replacement of spiral fire escape stair with a standard straight staircase
 - Replacement of crittal style windows and doors with aluminium and timber composite windows and doors, with an improved thermal performance
 - Rooflights reduced and rationalised.
 - Omission of all external signage.

3.0 **RELEVANT PLANNING HISTORY**

3.1 A summary of the relevant planning application history is set out in the table below:

Ref no.	Description	Status and date of decision
P/0922/09	Listed Building Consent: Demolition of Existing Storage Shed and Erection of New Brick Clad Modular Building to Provide Multipurpose Community Learning and Events Facility Within Curtilage Of Elliott Hall	Granted: 24/07/2009
P/0918/09	Demolition of Existing Storage Shed And Erection Of New Brick Clad Modular Building To Provide Multipurpose Community Learning And Events Facility	Granted: 24/07/2009
P/2076/10	New Single Storey Modular Building To Replace Existing Greenhill Building	Granted: 19/10/2010
P/3597/19	Listed Building Consent: Internal and external alterations to three curtilage listed buildings to Elliot Hall at Harrow Arts Centre (the former Laundry, the Boilerhouse and the Workshops), including refurbishment and conversion of these buildings to a dance studio or three hireable spaces, a hireable space and artists' studios. Demolition of a curtilage listed barn/former stable structure.	Granted: 11/10/2019
P/3496/19	External Alterations And Refurbishment Of The Laundry Boiler House And Workshops. Laundry To Be Used As A Dance Studio Classroom & Hireable Space; Boiler House To Be Used As Hireable Space; And Workshops To Be Used As Artists Studios. Associated Landscaping (Demolition of existing glazed extension and stables to the rear of the laundry, building to side and adjoining walls to the Boiler House)	Granted: 24/10/2019
P/5110/19	Submission of details pursuant to conditions 2 (materials), 3 (laundry	Granted: P/5110/19

	and boiler house windows and doors), 4 (workshop windows and doors) and 5 (details) of Listed Building Consent approval application reference P/3597/19 for Listed Building Consent: Internal and external alterations to three curtilage listed buildings to Elliot Hall at Harrow Arts Centre (the former Laundry, the Boilerhouse and the Workshops), including refurbishment and conversion of these buildings to a dance studio or three hireable spaces, a hireable space and artists' studios. Demolition of a curtilage listed barn/former stable structure.	
P/5091/19	Details pursuant to conditions 3 (samples), 4 (windows and doors), 5 (proposed elevations/sections of windows) and 7 (landscaping and tree protection) attached to planning permission P/3496/19 dated 24/10/2019 for external alterations and refurbishment of the laundry, boiler house and workshops. Laundry to be used as a dance studio, classroom & hireable space; Boiler House to be used as hireable space; and Workshops to be used as artists' studios. Associated landscaping. (Demolition of existing glazed extension and stables to the rear of the laundry, building to side and adjoining walls to the Boiler House)"	Granted: 29/07/2020
P/3594/20	Redevelopment to provide two storey building containing multi-purpose teaching rooms and artists studios (Use Class F); demolition of three temporary classroom buildings; hard and soft landscaping including signage; drainage works	Granted 05/05/2021
P/1826/21	Listed Building Consent: Installation of signage on the former boiler house.	Granted 24/06/2021
P/2888/21	Installation of measures to reduce carbon consumption including air source heat pumps, solar panels, building management system and pipe lagging to Elliot Hall and ancillary curtilage listed outbuildings	Granted 01/02/2022

P/2975/21	Listed Building Consent: Installation of measures to reduce carbon consumption including air source heat pumps, solar panels, building management system and pipe lagging to Elliot Hall and ancillary curtilage listed outbuildings (amended plans)	Granted 01/02/2022
P/0526/22	Details pursuant to conditions 3 (demolition and construction logistics plan), 4 (construction Ecological Management Plan), 5 (Fire safety statement), 6 (levels), 7 (disposal of surface water) and 8 (disposal of sewage) attached to planning permission P/3594/20 dated 04/05/2021 for redevelopment to provide two storey building containing multi-purpose teaching rooms and artists studios (Use Class F); demolition of three temporary classroom buildings; hard and soft landscaping including signage; drainage works	Decision pending
P/1946/22	Submission of details pursuant to condition 2 (samples and details for the screening for the Air Source Heat Pumps) attached to Listed Building Consent application reference P/2975/21 for Listed building consent: installation of measures to reduce carbon consumption including air source heat pumps solar panels building management system and pipe lagging to elliot hall and ancillary curtilage listed outbuildings (amended plans)	Decision pending

4.0 **CONSULTATION**

4.1 A total of 14 consultation letters were sent to neighbouring properties regarding this application; and a site notices was erected in the area. The overall public consultation period expires on 21st July 2022. However, this is only due to the site notice consultation period. The date given on letters sent to neighbours expires on the 7th July 2022 and the newspaper advert was placed on the 23rd June and therefore expires on the 14th July.

4.2 No responses have been received to date.

4.3 **Statutory and Non Statutory Consultation**

- 4.4 The following consultations have been undertaken, together with the responses received and officer comments:

Conservation Officer:

No objection subject to the same conditions as previously approved.

5.0 POLICIES

- 5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that:
- ‘If regard is to be had to the Development Plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the Plan unless material considerations indicate otherwise.’
- 5.2 The Government has issued the National Planning Policy Framework [NPPF 2021] sets out the Government’s planning policies for England and how these should be applied, and is a material consideration in the determination of this application.
- 5.3 In this instance, the Development Plan comprises The London Plan 2021 [LP] and the Local Development Framework [LDF]. The LDF comprises The Harrow Core Strategy 2012 [CS], Harrow and Wealdstone Area Action Plan 2013 [AAP], the Development Management Policies Local Plan 2013 [DMP], the Site Allocations Local Plan [SALP] 2013 and Harrow Local Area Map 2013 [LAP].
- 5.4 A full list of all the policies used in the consideration of this application is provided as Informative 1.

6.0 **ASSESSMENT**

6.1 The main issues are:

- Principle of the Development and Green Belt
- Character, Design, and Conservation
- Neighbouring Residential Amenity
- Traffic, Parking and Servicing
- Trees and Biodiversity
- Drainage and Contamination
- Sustainability

6.2 **Principle of Development and Green Belt**

6.2.1 The relevant policies are:

- The National Planning Policy Framework (2021)
- The London Plan (2021): G2, H5
- Local Plan Site Allocations (2013): G04
- Harrow's Core Strategy (2012): CS1.F, CS6
- Harrow Development Management Policies (2013): DM16, DM17, DM46, DM47

Planning Policy and Proposed Use

6.2.2 The principle of the development was previously acceptable and it was considered that it would further add to the viability as a performing arts venue and secure its retention. The principle of development was supported by Local Plan Policies CS6, DM46 and DM47, and the Local Plan site allocation G04.

6.2.3 The policy and legislative framework has not materially changed since the original scheme was approved. As such, no additional consideration regarding the principle is necessary and only the proposed variations are assessed.

Green Belt Development: Appropriateness and Openness

6.2.4 A large area of Green Belt land is sited to the south of the proposed building, approximately 3m distant. The impact of the approved building on the setting of the Green Belt was previously considered acceptable. As the varied scheme would be moved further away from the Green Belt there would be no further impact on the openness of the green belt than has been approved.

6.2.5 As such, the proposal would not be considered to result in an undue degree of increased impacts on the setting and openness of the Green Belt.

Summary

6.2.6 For the reasons set out above, it is considered that the principle of this proposed variations meets the above policy requirements.

6.3 Character, Design, and Conservation

6.3.1 The relevant policies are:

- The National Planning Policy Framework (2021)
- The London Plan (2021): D1, D3, D4, D5, D8, D12, D11, HC1
- Harrow's Core Strategy (2012): CS1, CS6
- Harrow Development Management Policies (2013): DM1, DM2, DM7, DM12, DM22, DM23

Mass, Siting and Design

6.3.2 The principle of the building design and replacement of existing portacabin has been found acceptable previously. As such, only the variations are considered. The varied built form retains a two-storey building with an L-shaped footprint with a semi-enclosed main courtyard area facing south. Additionally, the sawtooth roof form would be retained and include glazing on the north-facing sides light and passive ventilation to the first floor rooms. Glazing on the flanks remains similar in appearance and would be designed to reflect the style and design of windows elsewhere on the site, and to provide additional natural ventilation to both floors.

6.3.3 The proposed footprint of the building is being reduced by effectively removing one of the saw-tooth bays at the southern arm of the 'L' shape plan. The height is also be reduced by 300mm. This has the effect of lessening the massing of the building, given that a larger built form was considered acceptable previously, the reduced built form with no other substantial changes in the form of design, is therefore considered acceptable as it will have a reduced impact.

6.3.4 The proposed cladding material will be revised from a corrugated corten cladding to a corrugated fibre panel system of a similar colour. The windows and doors will be revised from a crittal type system, to an aluminium and timber composite. The Council's Heritage Officer has raised no objection to these revisions and a condition of consent requires further submission of material details which can be assessed in greater detail post-approval.

6.3.5 Other external alterations include replacing an external spiral staircase with a straight staircase and alterations to the external paving. These do not alter the design such that it has an adverse impact on the overall design aesthetic or the wider setting, and they are considered reasonable and acceptable.

Conservation and Impact on Listed Building

6.3.6 The principle of the approved development was supported by the Council's Conservation Officer. They have also revised the revised proposal and raise no concerns subject to the same conditions of consent being imposed.

Accessibility

6.3.7 As the proposal is for public realm and publicly used community buildings, accessibility is an important consideration. The revised proposal does not alter this

aspect and the building would be fully accessible, with a step free main entrance (on the north elevation) and from the classrooms into the main courtyard, and a lift for access to the first floor. Accessible bathrooms are located on each floor. Furthermore, the application will be subject to building control regulations, which will ensure standards for accessibility are incorporated. Full details of the landscaping for public areas including levels will be approved through conditions. Given these factors, the revised proposal would be considered satisfactory in terms of accessibility.

Landscaping

- 6.3.8 The proposed terrace area (or “main yard”) adjacent the new building would connect with the internal space via opening doors, and would allow for the space to be used as an extension of the teaching/ multipurpose rooms. When not in use in this way, the terrace would provide a public area with hard and soft landscaping.
- 6.3.9 Whilst the main yard area is being reduced this is a product of the overall reduction in the footprint of the building. The revised plans will also remove a stepped landscaped area at the south of the open space, to be replaced with a balustrade. These revisions do not substantially alter the landscaping surrounding the built form and conditions of consent are imposed for further details to be submitted post-approval.

Fire Safety

- 6.3.10 Part A of Policy D12 of the London Plan (2021), requires the demonstration of suitably positioned and unobstructed space for fire appliances and evacuation assembly points, and that developments ensure robust strategies for evacuation are in place as well as confirmation of the fire-fighting water supply. A condition is recommended to ensure that a fully comprehensive fire strategy is provided prior to the commencement of the development.

Summary

- 6.3.11 In summary, the revised proposal is considered to be of an appropriate scale and design for its context. Its impacts on the listed buildings and curtilage are satisfactorily justified and thus the proposal complies with the National Planning Policy Framework and relevant local plan policies. Accessibility and safety of the public realm would be satisfactory overall, subject to some conditions. Revised materials and hard and soft landscaping details can be dealt with via condition, and these have been requested by the Council’s Conservation Officer,
- 6.3.12 Subject to the above detailed conditions, the development would accord with the relevant policies of the development plan as set out above.

6.4 Neighbouring Residential Amenity

6.4.1 The relevant policies are:

- The National Planning Policy Framework (2021)
- Harrow's Core Strategy (2012): CS1
- Harrow Development Management Policies (2013): DM1

6.4.2 The proposal would be sited sufficiently far from residential developments that the structure would not result in any impacts in terms of overshadowing, light, or other visual impacts.

6.4.3 There would be no change of use which would result in different impacts in terms of the activities associated with proposal, as compared to the existing development. In addition, given that the majority of the proposal would be a replacement of existing floorspace, with the uplift associated with uses associated with the centre, the increase in numbers of users associated with the development would not be significant in terms of its potential to result in disturbance to neighbouring residential occupiers.

6.4.4 In conclusion, it is considered that the revised proposal would not result in any undue impacts on residential amenity for neighbouring occupiers, and thus would comply with the relevant policies with regard to residential amenity.

6.5 Traffic, Parking and Servicing

6.5.1 The relevant policies are:

- The National Planning Policy Framework (2021)
- The London Plan (2021): T4, T5, T6
- Harrow's Core Strategy (2012): CS1
- Harrow Development Management Policies (2013): DM42, DM43, DM44, DM45

6.5.2 The site lies within a PTAL 2-3 area. There are four bus stops on Uxbridge Road at the front of Elliot Hall, and the Hatch End station is approximately 350m distant. Thus, the site has reasonably good access to public transportation. The wider HAC grounds has its own parking area, as well.

6.5.3 The Council's Highways officer raised no concern to the approved development subject to suitably worded conditions of consent. As the overall floorspace is being reduced and the nature of the use continues to relate to the overall HAC use there is not considered to be any material difference with the revised proposal.

6.5.4 The traffic and parking impacts from this additional use/floorspace would be minimal and users would be encouraged to use sustainable transportation modes. This will be managed through the use of a Travel Plan. As with the previously approved development, given the relatively small increase in floorspace for new activities and limited number of users this would support, a Travel Plan can be dealt with by a suitably worded condition, which has been attached.

- 6.5.5 Bicycle racks, providing space for 16 cycle parking spaces are provided along the north side of the proposed building as per approved. These would serve the artists' studio and the teaching rooms. In line with the London Plan policy T5, a minimum of 1 space per 100sqm must be provided, as such, the development exceeds the cycle parking requirements. As the proposal is for a community use, provisions should be made for and accessible and non-standard cycles parking as well. Full details of the storage are to be secured by means of a condition.
- 6.5.6 Construction access is proposed from the slip road, off Uxbridge Road, to the east of the site. This allows for separate access to that used by users and visitors to the Centre. A demolition and construction logistics plan is required prior to commencement, which should follow the guidance and format specified by TfL/CLOCS. This has also been secured by condition, as per the approved application.
- 6.5.7 As per the approved scheme, a dedicated waste storage area is located adjacent one of the portacabins to be demolished. This will be expanded to include additional waste storage for the new building. A new bin enclosure is also proposed. The Council's Waste Management team have no objection to the proposed arrangements. A condition has been attached for full details of the proposed bin enclosure to be submitted and approved and this variation does not seek to alter that arrangement.
- 6.5.8 In summary, the proposal would not be considered to result in a significant increase in traffic and parking impacts, taking into account the replacement floorspace and the nature and use of the net new floorspace. Further information on a Travel Plan and cycle parking details, to support sustainable travel, are required by condition. Waste arrangements are considered satisfactory. It is thereby considered that the proposal would accord with the relevant development plan policies as set out above.

6.6 Trees and Biodiversity

6.6.1 The relevant policies are:

- The National Planning Policy Framework (2021)
- The London Plan (2021): G1, G6, G7
- Harrow's Core Strategy (2012): CS1, CS6
- Harrow Development Management Policies (2013): DM1, DM20, DM21, DM22

6.6.2 It is noted that none of the existing trees within the application site area are currently protected as TPOs. An Arboricultural Report was submitted in relation to the original application and was assessed by the Council's Arboricultural Officer.

6.6.3 Overall, the Tree officer concluded that the tree report and suggested tree protection measures and method statement were acceptable and should be implemented in accordance with the details provided. As such, given that the revised proposal is on the same site with a reduced footprint, with no other material

alteration which would affect trees, the proposal would continue to comply with relevant policies with regard to trees.

6.6.4 The Biodiversity Officer previously reviewed Preliminary Ecological Appraisal, Ecological Mitigation and Management Plan and Preliminary Bat Roost Assessment submitted with the original application and the overall conclusions were not objected to. A variety of mitigation measures are proposed to protect and enhance biodiversity on site, which are secured by condition in line with the Biodiversity officer's recommendations. These include a condition for external lighting, bird nesting boxes and bat roosts, mitigation details for construction, and ecological mitigation and management. The revised application will retain these conditions of consent.

6.6.5 Subject to conditions as set out above, the proposal would be acceptable regarding trees and biodiversity.

6.7 Drainage and Contamination

6.7.1 The relevant policies are:

- The National Planning Policy Framework (2021)
- The London Plan (2021): G1, SI 12, SI13
- Harrow's Core Strategy (2012): CS1
- Harrow Development Management Policies (2013): DM10

6.7.2 The site is located in a Critical Drainage area, and whilst it is nearby fluvial and surface water flood zones, these do not extend into the boundaries of the development site. There is, however a partially open watercourse (irrigation ditch) which runs from south into the landscaped area to the south-west of the proposed building, near where the proposed swale would be.

6.7.3 A Flood Risk Assessment was submitted under the original application to address potential flood risk and drainage issues which might arise as a result of the development. The part of the existing open watercourse that falls within the site would be refurbished as part of the proposed works; and additional SuDS mitigation would be provided by way of a swale feature. The swale would be dry at times, but would hold overflow storm water when necessary to control and mitigate flooding during heavy rainfall. The swale system would include mechanisms to control the flow of water. Harrow's Drainage Authority have reviewed the proposal and are satisfied with it subject to the submission of full details of the drainage / SuDS system. This has been secured by condition. The revised proposal does not materially alter the potential flooding impact.

6.7.4 A environmental Ground Investigation Report was also submitted under the original application, which indicates that there was no development apparent on the site around the proposed new building and swale until circa. 1980, when the existing temporary structure was added. The site contains made ground over "Lambeth Group" soil. The report notes that no evidence of contamination was found; and the risks of contamination is low. Thus, no remedial works or further investigations were recommended. Harrow's Environmental Health Officers have

reviewed the report and agree with its conclusions. It is noted that the EHO recommends ensuring either Thames Water are consulted for appropriate barrier pipes or these be recommended directly by the Council. As the technical details and provision of infrastructure do not fall within the scope of this application, it is considered that the applicant should pursue discussion with Thames Water regarding appropriate infrastructure requirements for the site conditions. Similarly, it is noted that the details of foundations appropriate to the site and its design would be dealt with by building control regulations rather than regulated under planning.

6.8 Sustainability

6.8.1 The relevant policies are:

- The National Planning Policy Framework (2021)
- The London Plan (2021): SI 4
- Harrow's Core Strategy (2012): CS1
- Harrow Development Management Policies (2013): DM12, DM14

6.8.2 The proposal includes an Air Source heat pump, in an enclosure, along the southern wall of the proposed building under the external staircase. The south-facing roof slopes of the proposed new building would be installed with solar PV panels. In addition, the proposed construction materials and methodology would contribute to a low carbon development. Glazing and other openings have been designed to provide good natural light and ventilation while helping to control for solar gain to prevent overheating.

6.8.3 The Air Source heat pump and solar panels are acceptable and welcome, however full details will need to be submitted and approved. A condition for this has been attached. The designed-in sustainability measures are welcome and the revised proposal does not alter the provision of these aspects.

6.8.4 Given the scope and scale of the proposal, the above measures are considered satisfactory and proportionate.

7.0 CONCLUSION AND REASONS FOR APPROVAL

7.1 The revised scheme would continue to enhance the Harrow Arts Centre and support its viability as a performing arts venue, without unduly impacting neighbouring amenity. The revised proposal would not result in traffic and parking impacts which would be considered significant, and the relevant biodiversity, arboricultural and drainage matters have been satisfactorily address, subject to conditions.

7.2 For these reasons, weighing up the development plan policies and proposals, and other material considerations including comments received in response to notification and consultation as set out above, this revised application is recommended for grant.

APPENDIX 1: Conditions and Informatives

Conditions

1 Time Limit 3 years - Full Permission

The development permitted shall be begun before the expiration of three years from the date of the original permission P/3594/20 Granted 05/05/2021.

REASON: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

2 Approved Drawing and Documents

This permission shall have the effect of varying condition 2 on planning permission P/3594/20 (dated 04/05/2021):

Unless otherwise agreed in writing by the local planning authority, the development shall be carried out, retained, and completed in accordance with the following approved drawings and documents:

Approved Plans and Documents:

0438-P-I-0000 Rev 006; 0438-P-I-0010 Rev 009; 0438-P-I-0011 Rev 008; 0438-P-I-0100 Rev 005; 0438-P-I-0101 Rev 005; 0438-P-I-0200 Rev 005; 847_100 Rev 03; 847_101 Rev 02; 847_201 Rev 03; 847_202 Rev 03; 847_203 Rev 03; 847_204 Rev 02; 0438-P-I-1001 Rev 06; 0438-P-I-1000 Rev 10; 0438-P-I-1002 Rev 07; 0438-P-I-1010 Rev 06; 0438-P-I-1011 Rev 00; 0438-P-I-1100 Rev 10; Outline Heritage Statement [3rd July 2020]; 0438 – Harrows Arts Centre Updated Views [March 2021]; Impact of the setting of Elliot Hall [11th March 2021]; Heritage Issues letter [15th April 2021]; Design and Access Statement [0438_HAC_D&A_rev00, 23rd September 2020]; Design and Access Statement – Landscape Chapter [September 2020]; HAC Wayfinding ‘Starting Point’; Untitled document of Structural drawings and SUDs [dated 20.05.20]; Flood Risk Assessment [J4054-C-RP-0010]; J4054-C-GA-0121 Rev 02; J4054-C-SE-0235 Rev 01; Ground Investigation Report [STS5025, May 2020]; Arboricultural Survey, Impact Assessment and Method Statement [AEO777/001 Rev 001, May 2020]; Seeding Schedule and Wildflower Turf Schedule; Preliminary Ecological Appraisal [UCDA101/001 Rev 001, May 2020]; Preliminary Roost Assessment [UCDA101/004 Report no. 1, Rev 002, September 2020]; Further Bat Surveys [UCDA101/005 Rev 001, September 2020]; Ecological Mitigation and Management Plan [UCDA101/004, report no. 2, Rev 002, July 2020]

Revised Plans and documents:

DOC-02 Rev 02; DOC-003 Rev 00; 0438 P I Rev 08; 0438 P I 1001 Rev 06; 0438 P I 1100 Rev 11; 0438 P I 1102 Rev 11; 0438 P I 1000 Rev11; 0438 P I 1002 Rev 08; 0438 P I 1200 Rev 13; 0438 P I 1011 Rev 02; Proposed South Elevation; Proposed North Elevation; Proposed West Elevation; Proposed East Elevation;

J4054-C-GA-0121 Rev 06; J4054-C-GA-0125 Rev 05; Proposed East Elevation;

REASON: For the avoidance of doubt and in the interests of proper planning.

Pre-commencement

3 Demolition and Construction Logistics Plan (Pre-commencement)

This permission shall have the effect of varying condition 3 on planning permission P/3594/20 (dated 04/05/2021):

No development shall take place, including any works of demolition, until a detailed demolition and construction logistics plan has first been submitted to the Local Planning Authority in writing to be agreed. The plan shall detail the arrangements for:

- a) the parking of vehicles of site operatives and visitors;
- b) loading and unloading of plant and materials;
- c) storage of plant and materials used in construction the development;
- d) the erection and maintenance of security hoardings including decorative displays and facilities for public viewing;
- e) wheel washing facilities;
- f) a scheme for recycling/disposing of waste resulting from demolition and construction works;
- g) measures for the control and reduction of dust;
- h) measures for the control and reduction of noise and vibration; and
- i) How traffic would be managed to minimise disruption.

The demolition and construction of the development shall be carried out in accordance with the plan so agreed.

REASON: To ensure that measures are put in place to manage and reduce noise and vibration impacts during demolition and construction and to safeguard the amenity of neighbouring occupiers, and to ensure that the transport network impact of demolition and construction work associated with the development is managed. To ensure that measures are agreed and in place to manage and reduce dust, noise and vibration during the demolition and construction phases of the development and manage transport impacts during the demolition and construction phases of the development. This condition is a PRE-COMMENCEMENT condition as the proposed measures must be in place prior to commencement of works.

4 Biodiversity Protection 1 (Pre-commencement)

This permission shall have the effect of varying condition 4 on planning permission P/3594/20 (dated 04/05/2021):

No site works, including demolition, shall commence until a construction Ecological Management Plan including the following has been submitted, provided at the application site, and approved in writing by, the local planning authority:

- (a) how all contractors and their supervisors will be are aware of the features of biodiversity interest and the procedures to be followed to prevent harm to such features, with particular reference to protected species, and

(b) the measures to be taken to ensure that these plan elements will be implemented.

The works shall be completed in accordance with the approved details.

REASON: To ensure that the development makes appropriate provision for the protection of biodiversity.

5 Fire Safety (Pre-Commencement)

This permission shall have the effect of varying condition 5 on planning permission P/3594/20 (dated 04/05/2021):

Prior to the commencement of the development hereby approved, a Fire Safety Statement shall be submitted to and approved in writing by the Local Planning Authority, this statement shall include details of how the development will function in terms of the following:

- 1) identify suitably positioned unobstructed outside space: a) for fire appliances to be positioned on b) appropriate for use as an evacuation assembly point
- 2) is designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire; including appropriate fire alarm systems and passive and active fire safety measures
- 3) is constructed in an appropriate way to minimise the risk of fire spread
- 4) provide suitable and convenient means of escape, and associated evacuation strategy for all building users
- 5) develop a robust management strategy for evacuation which is to be periodically updated and published (details of how often this management strategy is to be reviewed and published to be included), and which all building users can have confidence in
- 6) provide suitable access and equipment for firefighting which is appropriate for the size and use of the development.

The development shall be operated in accordance with the approved details in perpetuity.

REASON: To ensure that the fire safety of the proposed building is managed in a satisfactory manner and that the development contributes to fire safety in line with Policy D12A of the London Plan (2021). To ensure appropriate fire safety measures are approved before development commences on site, this condition is a PRE-COMMENCEMENT condition.

Demolition work only

6. Levels

This permission shall have the effect of varying condition 6 on planning permission P/3594/20 (dated 04/05/2021):

No site works or development shall commence (other than demolition works) until details of the levels of the building(s), road(s) and footpath(s) in relation to the adjoining land and highway(s), and any other changes proposed in the level of the

site, have been submitted to the Local Planning Authority in writing to be agreed. The development shall be carried out in accordance with the details so agreed.

REASON: To ensure that the works are carried out at suitable levels in relation to the highway and adjoining properties in the interests of the amenity of neighbouring residents, the appearance of the development, drainage, gradient of access and future highway improvement.

7. Drainage and SuDS Details

This permission shall have the effect of varying condition 7 on planning permission P/3594/20 (dated 04/05/2021):

No development shall take place other than works of demolition until details of works for the disposal of surface water, including surface water attenuation and storage, have been submitted to the Local Planning Authority in writing and agreed. The submitted details shall include:

- Full details of SuDS measures including flood displacement storage levels for existing and lowered areas
- permeable paving details with cross-sections, construction details, and a maintenance plan.
- Full details of drainage layout including details of the outlet and cross section of proposed storage are required.
- Full details of any flow restrictions (hydrobrake, pumping station) that are proposed for this scheme need to be submitted together with the relevant graphs.
- Management Plan for disposal of ground water during construction phase and measures to prevent water pollution.

The development shall be carried out in accordance with the details so agreed and shall be retained as such thereafter.

REASON: To ensure that the development achieves an appropriate greenfield run-off rate in this critical drainage area and to ensure that sustainable urban drainage measures are exploited. To ensure that measures are agreed and development to manage and reduce surface water run-off.

8. Foul Water Drainage Strategy

This permission shall have the effect of varying condition 8 on planning permission P/3594/20 (dated 04/05/2021):

The development hereby permitted shall not be commenced, other than works of demolition, until works for the disposal of sewage have been provided on site in accordance with details to be submitted to, and approved in writing by, the local planning authority. The works shall thereafter be retained.

REASON: To ensure that there would be adequate infrastructure in place for the disposal of foul water arising from the development, and to ensure that the development would be resistant and resilient to foul water flooding. To ensure that

measures are agreed and put in place to dispose of foul water arising from the development.

Damp Proof Course

9. Materials

This permission shall have the effect of varying condition 9 on planning permission P/3594/20 (dated 04/05/2021):

Notwithstanding the details shown on the approved drawings, the development, shall not progress beyond damp proof course until samples of the materials to be used in the construction of the external surfaces noted below have been made available to view on site, and approved in writing by, the local planning authority:

- a) facing materials and roof tiles/materials for the buildings;
- b) windows/ doors;
- c) all boundary treatments;
- d) new hard surfacings; and
- e) exterior pipes, metalwork and rain goods.

The development shall be carried out in accordance with the details so agreed and shall be retained as such thereafter.

REASON: To ensure that the development is carried out to the highest standards of architecture and materials.

10. Window and Door Reveals

This permission shall have the effect of varying condition 10 on planning permission P/3594/20 (dated 04/05/2021):

Notwithstanding the details shown on the approved drawings, the construction of the buildings hereby approved shall not commence beyond damp proof course level until there has been submitted to and approved in writing by the Local Planning Authority detailed sections at metric scale 1:20 through all external reveals of the windows and doors on each of the elevations. In the event that the depth of the reveals is not shown to be sufficient, a modification showing deeper reveals shall be submitted for approval in writing. The development shall be completed in accordance with the approved details and shall thereafter be retained.

REASON: To ensure that the development is carried out to the highest standards of architecture and materials

11. Proposed Signage

This permission shall have the effect of varying condition 11 on planning permission P/3594/20 (dated 04/05/2021):

Notwithstanding the approved plans and supporting documents, the development hereby approved shall not progress beyond damp-proof course until the following has been submitted to, and agreed in writing by, the local planning authority:

- i. Full details of all signage including all existing and proposed elevations, sections, location, plans and supporting heritage statement for all signs;
- ii. existing and proposed lighting; and
- iii. proposed signage materials.

The development shall be carried out in accordance with the details as so agreed.

REASON: There is currently no information on this to allow an assessment and this is required in order to ensure the special interest and setting of the listed and curtilage listed buildings is provided.

12. Biodiversity 2

This permission shall have the effect of varying condition 12 on planning permission P/3594/20 (dated 04/05/2021):

Notwithstanding the details shown on the approved plans, the development hereby approved shall not commence beyond damp proof course level until revised plans showing the following have been submitted to and approved in writing by the Local Planning Authority:

- i. Full details of mitigation measures incorporated into the fabric of the new building, to consist of nesting features for birds (on the North or North and East aspects) and roosting shelters for bats;
- ii. An Ecological Mitigation and Enhancement Plan (EMEP); and
- iii. An Ecological Management Plan (EMP).

The development shall be carried out in accordance with the details as so agreed and retained as such thereafter.

REASON: To ensure that the development makes appropriate provision for the protection and enhancement of biodiversity.

13. External Lighting

This permission shall have the effect of varying condition 13 on planning permission P/3594/20 (dated 04/05/2021):

The development hereby approved shall not be occupied until details of any lighting for all external areas (including buildings) within the site, including locations, lighting design, lighting details, specification, elevations, light spillage and lighting levels has been submitted to, and approved in writing by the local planning authority. The proposed lighting shall also include details and measures to ensure that overnight internal illumination will not cause impacts on bats and other nocturnal and crepuscular species, including details of lighting hours and control mechanisms and

measure to minimize impacts. The development shall be carried out in accordance with the details so agreed and shall be retained as such thereafter.

REASON: To ensure that the development incorporates lighting that contributes to Secured by Design principles, achieves a high standard of residential quality.

14. Air Source Heat Pump and Solar Panels

This permission shall have the effect of varying condition 14 on planning permission P/3594/20 (dated 04/05/2021):

Notwithstanding the approved plans and supporting documents, the development hereby approved shall not progress beyond damp-proof course until full details of the proposed Air Source heat pump and solar panels has been submitted to, and agreed in writing by, the local planning authority. The development shall be carried out in accordance with the details so agreed and shall be retained as such thereafter.

REASON: To ensure the proposed sustainable infrastructure is suitable to the site and would not unduly harm the character and appearance of the development of the surrounding area and listed buildings.

15. Landscaping Plan

This permission shall have the effect of varying condition 15 on planning permission P/3594/20 (dated 04/05/2021):

Notwithstanding the details shown on the approved plans, the development hereby approved shall not progress beyond damp-proof course until revised plans showing the following have been submitted to and approved in writing by the Local Planning Authority:

- a) A scheme for detailed hard and soft landscaping of the development, to include details of the planting, hard surfacing materials and external seating, tree planting and tree pits, swale and pond, etc.
- b) Soft landscaping works shall include: planting plans (at a scale not less than 1:100), written specification of planting and cultivation works to be undertaken and schedules of plants, noting species, plant sizes, plant container sizes (all at time of planting) and proposed numbers / densities and an implementation programme;
- c) Details of the tree planting in the courtyard including tree pit, drainage, irrigation, growing medium, any tree protection and tree grille will be required;
- d) Hard landscape material details, which must be permeable paving, with permeable paving details including cross sections;
- e) Details of any boundary treatments;
- f) Bin storage enclosure details; and
- g) A Landscape Management Plan including a Schedule of Maintenance Operations. This should include: the overall functional and aesthetic objectives of the landscape scheme and the steps (e.g. legal arrangements including ownership and management responsibilities, planned maintenance tasks, any phased works, management programme of works, monitoring procedures etc.)

The development shall be carried out in accordance with the details as so agreed and retailed thereafter.

REASON: To ensure that the development makes provision for hard and soft landscaping which contributes to a high standard of design, layout and amenity and to make appropriate provision for the protection, enhancement, creation and management of biodiversity.

Pre-Occupation

16. Travel Plan

This permission shall have the effect of varying condition 16 on planning permission P/3594/20 (dated 04/05/2021):

The development hereby permitted shall not be occupied until there has been first submitted to, and approved in writing by, the local planning authority a revised full Travel Plan to include targets to promote modal shift towards active travel. Details should include:

- a) Travel plan background and policies;
- b) Site Audit;
- c) Proposed development description;
- d) Clear objectives;
- e) Management – Provide a TPC in 3 months prior first occupation and contact details submitted to the council;
- f) A baseline survey should be undertaken within 6 months of first occupation of 75% of occupation, whichever ever come first;
- g) Targets should be in agreement with the council after the baseline survey;
- h) Measures – initiatives that will be introduced to achieve the targets;
- i) Funding – expression of commitment from the developer that the travel plan will be secured through its life;
- j) Monitoring and review – monitoring surveys should be undertaken at years 1, 3 and 5 and review reports submitted to the council within 1 month after the surveys; and
- k) A comprehensive action plan.

The travel plan shall be implemented as agreed unless otherwise agreed in writing by the local planning authority.

REASON: To promote sustainable modes of travel for the future occupiers of the development

17. Cycle Parking Details

This permission shall have the effect of varying condition 17 on planning permission P/3594/20 (dated 04/05/2021):

Notwithstanding the details shown on the approved drawing, the development hereby approved shall not be first occupied until details of the proposed cycle

parking have been submitted to and agreed in writing by the Local Planning Authority in writing to be agreed. The details shall include:

- i. full details of the proposed cycle parking, including the location, type and number of cycle stands, for a minimum of 16 spaces; and
- ii. sheltered spaces for long-stay use, and accessible spaces for non-standard cycles.

The proposed details shall allow for functional use of the cycle spaces in line with London cycle design guidelines, including accessible cycle storage.

The cycle parking shall be implemented on site prior to the first occupation of the development for the sole use of the development in accordance with the details so agreed and shall be retained for the lifetime of the development.

REASON: To ensure the satisfactory provision of safe cycle storage facilities.

18. Secure by Design Accreditation

This permission shall have the effect of varying condition 18 on planning permission P/3594/20 (dated 04/05/2021):

Prior to the first occupation of the development, evidence of Secured by Design Certification shall be submitted to the Local Planning Authority in writing to be agreed, or justification shall be submitted where the accreditation requirements cannot be met. Secure by design measures shall be implemented the development shall be retained in accordance with the approved details.

REASON: In the interests of creating safer and more sustainable communities and to safeguard amenity by reducing the risk of crime and the fear of crime.

Operational

19. Landscaping Maintenance

This permission shall have the effect of varying condition 19 on planning permission P/3594/20 (dated 04/05/2021):

All hard landscaping shall be carried out prior to the occupation of any part of the development or in accordance with a programme first agreed in writing by the local planning authority. All soft landscaping works including planting, seeding or turfing comprised in the approved scheme of landscaping shall be carried out no later than the first planting and seeding season following the final occupation of the building, or the completion of the development, whichever is the sooner. Any existing or new trees or shrubs which, within a period of 5 years from the completion of the development, die, are removed, or become seriously damaged, diseased or defective, shall be replaced in the next planting season, with others of a similar size and species, unless the local authority agrees any variation in writing.

REASON: To ensure that the development makes provision for hard and soft landscaping which contributes to a high standard of design, layout and amenity and

to make appropriate provision for the protection, enhancement, creation and management of biodiversity.

20. Trees

This permission shall have the effect of varying condition 20 on planning permission P/3594/20 (dated 04/05/2021):

The proposed development shall be completed in full adherence to the arboricultural details and protection measures submitted to the Local Planning Authority [Arboricultural Method Statement of ref: AEO777/001 Rev 001, May 2020, and Tree Protection Plan (Drawing TPP01 of Thomson report May 2020)], unless first otherwise agreed in writing by the Local Planning Authority.

REASON: To safeguard the character and amenity of the site and to avoid any irreversible damage to retained trees.

21. Refuse Storage

This permission shall have the effect of varying condition 21 on planning permission P/3594/20 (dated 04/05/2021):

The refuse and waste bins shall be stored at all times, other than on collection days, within the designated refuse storage areas as shown on the approved plans.

REASON: To enhance the appearance of the development and safeguard the character and appearance of the area.

Informatives

1. Policies

The following policies and guidance are relevant to this decision:

National Planning Policy and Guidance:

National Planning Policy Framework (2021)

The London Plan (2021):

D1, D3, D4, D5, D8, D11, D12, HC1, H5, G1, G2, G6, G7, SI 4, SI 12, SI13, T4, T5, T6

Harrow Core Strategy (2012):

CS1, CS6

Development Management Policies Local Plan (2013):

DM1, DM2, DM7, DM10, DM12, DM14, DM16, DM17, DM20, DM21, DM22, DM23, DM42, DM43, DM45, DM46, DM47

Adopted Supplementary Planning Documents:

Harrow Local Plan Site Allocations (2013):

Historic England Good Practice Advice in Planning Note 3: The setting of heritage assets

Locally Listed Buildings SPD

2. Pre-application engagement

Statement under Article 35(2) of The Town and Country Planning (Development Management Procedures) (England) Order 2015. This decision has been taken in accordance with paragraphs 39-42 of The National Planning Policy Framework. Harrow Council has a pre-application advice service and actively encourages applicants to use this service. Please note this for future reference prior to submitting any future planning applications.

3. Considerate Contractor Code of Practice

The applicant's attention is drawn to the requirements in the attached Considerate Contractor Code of Practice, in the interests of minimising any adverse effects arising from building operations, and in particular the limitations on hours of working.

4. Compliance with Planning Conditions

IMPORTANT: Compliance With Planning Conditions Requiring Submission and Approval of Details Before Development Commences

- You will be in breach of planning permission if you start development without complying with a condition requiring you to do something before you start. For example, that a scheme or details of the development must first be approved by the Local Planning Authority. Carrying out works in breach of such a condition will

not satisfy the requirement to commence the development within the time permitted.

- Beginning development in breach of a planning condition will invalidate your planning permission.

- If you require confirmation as to whether the works you have carried out are acceptable, then you should apply to the Local Planning Authority for a certificate of lawfulness.

5. Liability for Damage to Highway

The applicant is advised to ensure that the highway is not interfered with or obstructed at any time during the execution of any works on land adjacent to a highway. The applicant is liable for any damage caused to any footway, footpath, grass verge, vehicle crossing, carriageway or highway asset. Please report any damage to nrswa@harrow.gov.uk or telephone 020 8424 1884 where assistance with the repair of the damage is available, at the applicant's expense. Failure to report any damage could result in a charge being levied against the property.

6. Surface and foul water connections

The applicant is advised that the Drainage Authority in Harrow recommends the submission of a drainage plan, for their approval, indicating all surface and foul water connections and their outfall details. Please also note that separate systems are used in Harrow for surface water and foul water discharge. Please email infrastructure@harrow.gov.uk with your plans.

7. Thames Water

The applicant is advised to note the submitted ground investigation report recommended barrier pipes are used for all underground water supply infrastructure to prevent migration of pollutants. The applicant should consult with Thames Water for appropriate water infrastructure development on site.

The applicant can contact Thames Water developer services by email: developer.services@thameswater.co.uk or by phone: 0800 009 3921 or on Thames Water website www.developerservices.co.uk for drainage connections consent.

8. Listed Building Consent

The applicant is advised that the proposed signage granted as part of this application cannot be implemented until separate Listed Building Consent (LBC) has been granted. It is recommended that the LBC be submitted prior to or concurrent with Condition 10, to avoid delays.

Landscaping Details Required

The applicant is advised the following should be included as part of details relating to landscaping conditions:

- A Landscape Management Plan would be expected to set out, graphically and / or in writing, the overall functional and aesthetic objectives of the landscape scheme and the steps (e.g. legal arrangements including ownership and management responsibilities, planned maintenance tasks, any phased works, management programme of works, monitoring procedures etc.) that will be taken after implementation to ensure that the scheme becomes successfully established and reaches maturity.
- Landscape Maintenance refers to the routine physical tasks (e.g. strimming, pruning, weeding, plant replacement, watering, litter clearance, maintenance of furniture, any decorative landscape lighting etc.) required to satisfy appropriate standards of aftercare and to enable the design and implementation objectives in respect of planting to be satisfactorily achieved. It is essential to identify who is responsible for these tasks.
- A Schedule of Maintenance Operations is normally a component of a Landscape Management Plan and commonly included within a Landscape Design Specification document.
- The hard surfacing details under Condition 8 shall provide samples to show the texture and colour of the materials to be used and information about their sourcing/manufacturer. Under Condition 6, the hardsurfacing details should show the permeable paving drainage details.
- In addition, the Ecological Mitigation and Enhancement Plan (EMEP) should include measures to be undertaken (incorporating those proposed in the supplied PEA and PRA) to minimise and address impacts and provide net gain for biodiversity, in a form which contactors can easily follow including full details of planting, seed mixes and seasonal management/maintenance works during a 3 year establishment period following any initial or remedial works during which any defects or failures should be remedied. This may be a standalone document or incorporated within any equivalent Landscaping Implementation Plan.
- An Ecological Management Plan (EMP). This should follow on from the EMEP and extend for a period of 5 years. It should clearly set out what the purpose, method, targets, timings and desired outcomes of management and monitoring for the development area will be, within the context of the wider site and provide an 'at a glance' summary of what works will need to be carried out in what years and month as standard or if particular trigger criteria apply (e.g. open water area in the pond falls below an identified percentage). It is anticipated that other developments phases across the site will require similar plans and these could be combined. The EMP might be standalone or form part of a wider Landscape Maintenance and Management Plan. EMPS should be updated (and provided to the Council for approval in writing) at 5 year intervals for a period of 30 years following the EMEP.

9 Mayoral CIL

Please be advised that approval of this application (either by Harrow Council, or subsequently by the Planning Inspectorate if allowed on appeal following a refusal by Harrow Council) will attract a Community Infrastructure Levy (CIL) liability, which is payable upon the commencement of development. This charge is levied under

s.206 of the Planning Act 2008 Harrow Council, as CIL collecting authority, has responsibility for the collection of the Mayoral CIL

The Provisional Mayoral CIL liability for the application, based on the Mayoral CIL levy rate for Harrow of £60/sqm is £8,244

The floorspace subject to CIL may also change as a result of more detailed measuring and taking into account any in-use floor space and relief grants (i.e. for example, social housing).

You are advised to visit the planningportal website where you can download the appropriate document templates.

Please complete and return the Assumption of Liability Form 1 and CIL Additional Information Form 0.

https://ecab.planningportal.co.uk/uploads/1app/forms/form_1_assumption_of_liability.pdf

https://ecab.planningportal.co.uk/uploads/1app/forms/cil_questions.pdf

If you have a Commencement Date please also complete CIL Form 6:

https://ecab.planningportal.co.uk/uploads/1app/forms/form_6_commencement_notice.pdf

The above forms should be emailed to HarrowCIL@Harrow.gov.uk

Please note that the above forms must be completed and provided to the Council prior to the commencement of the development; failure to do this may result in surcharges and penalties

CHECKED

Head of Development Management	06/07/2022
Interim Chief Planning Officer	07/07/2022

APPENDIX 2: SITE PLAN

Existing Site Plan



Approved Site Plan



Proposed Site Plan



APPENDIX 3: SITE PHOTOGRAPHS

The Workshop (Phase 1)

The Boiler House (Phase 1)

The Laundry (Phase 1)



Weald Portacabin
Demolished
(Phase 2)

Grimsdyke Portacabin
Demolished
(Phase 2)

Elliot Hall
No Works

Location of the New Greenhill Building
(Phase 2)



Front/side of Elliot Hall



Rear of Elliot Hall



Car park showing part of rear of Elliot Hall and Grimsdyke building



Car parking looking toward buildings adjacent to the site (Grimsdyke, Hatch End)



Car park showing part of rear of Elliot Hall and the Art Block (locally listed)



Portacabin to be demolished



Portacabins to be demolished



Approach to existing Greenhill Building from north





Pathway between Greenhill and Hatch End buildings



Existing Greenhill building (north side)



Existing Greenhill building (east side)



Existing Greenhill building (eastern side looking south)

Greenhill Portacabin
Demolished (Phase 2)

'Pyrus Communis' Tree
Demolished (Phase 2)



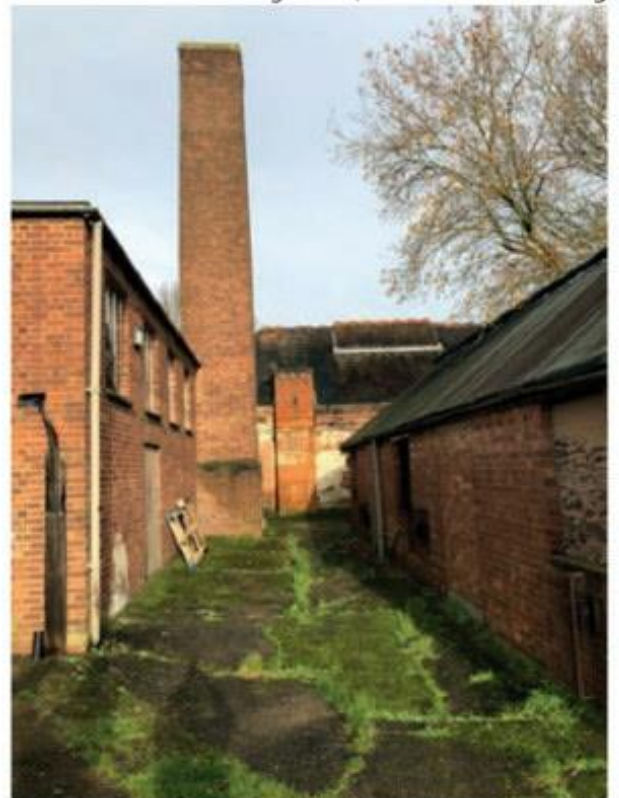
The immediate context of the New Greenhill Building

Top Left - The Laundry, Workshop and Boiler House seen from the south

Top Right - The Boiler House and Workshop with the Laundry in the distance

Bottom Left - The Boiler House and Reyners seen from the north

Bottom Right - Elliott Hall, a much grander, more distant building





Building opposite to the north (Laundry, Workshop and Boilerhouse)





Access road to the east and leisure/swimming complex to the south

Approved Cladding (Adjacent to existing Brickwork)



Elliott Hall
1904



Rayners
c.1920s



The Boiler House
c.1940s



The Workshop
early 1900s

Proposed cladding (Adjacent to existing brickwork)



Figure 2 Elliott Hall Brick with proposed cladding



Figure 3. Elliott Hall Brick with proposed cladding

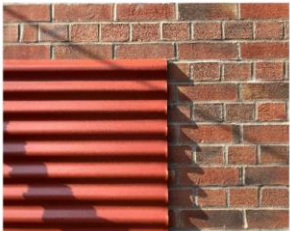


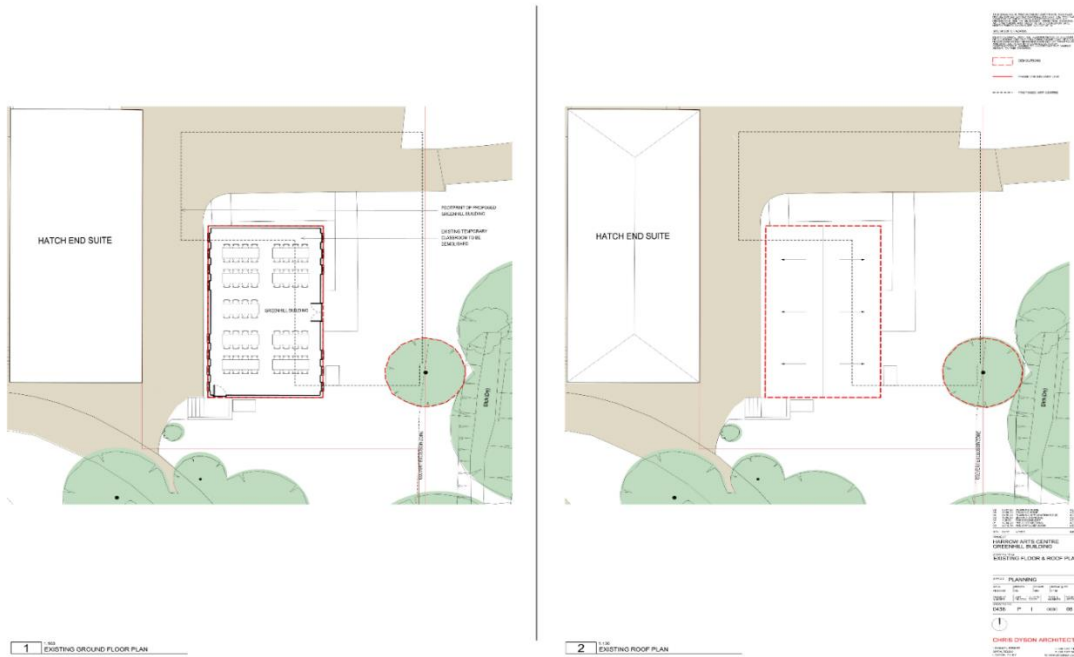
Figure 10 Hatch End Suite with Proposed Cladding



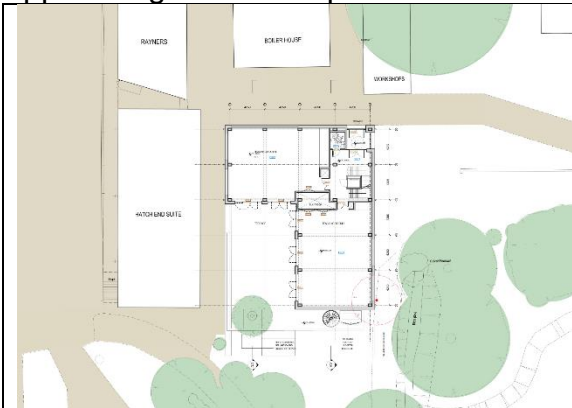
Figure 11 Boiler House with Proposed Cladding

APPENDIX 4: PLANS AND ELEVATIONS

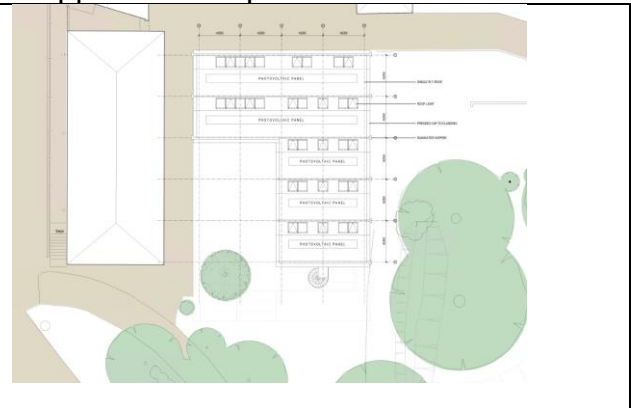
Existing Ground Floor Plan and roof plan



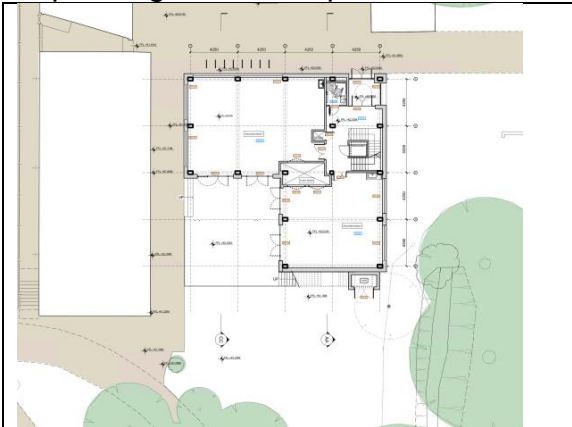
Approved ground floor plan



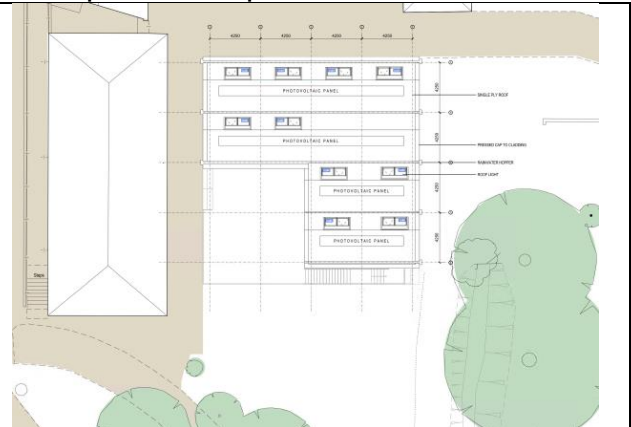
Approved roof plan



Proposed ground floor plan



Proposed roof plan



Approved First Floor



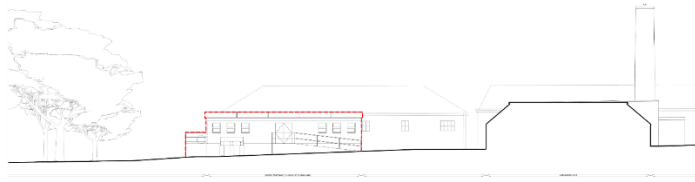
Proposed first floor



Existing Elevations



Scale: 1:50
1 | EXISTING WEST ELEVATION



Approved elevations



Scale: 1:50
1 | APPROVED WEST ELEVATION



Proposed Elevations



Scale: 1:50
1 | PROPOSED WEST ELEVATION



Approved south elevation



Proposed south elevation

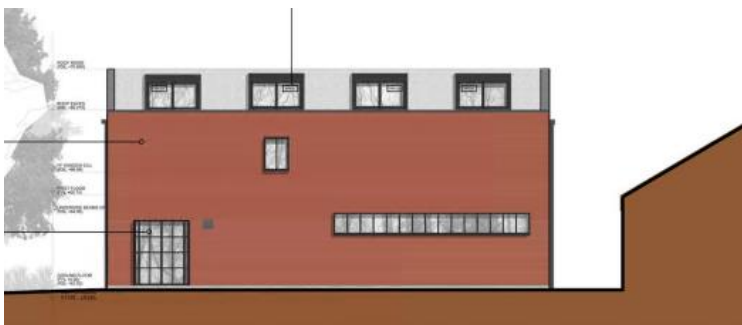


Approved north elevation



Proposed North Elevation

Proposed north elevation



This page has been left intentionally blank